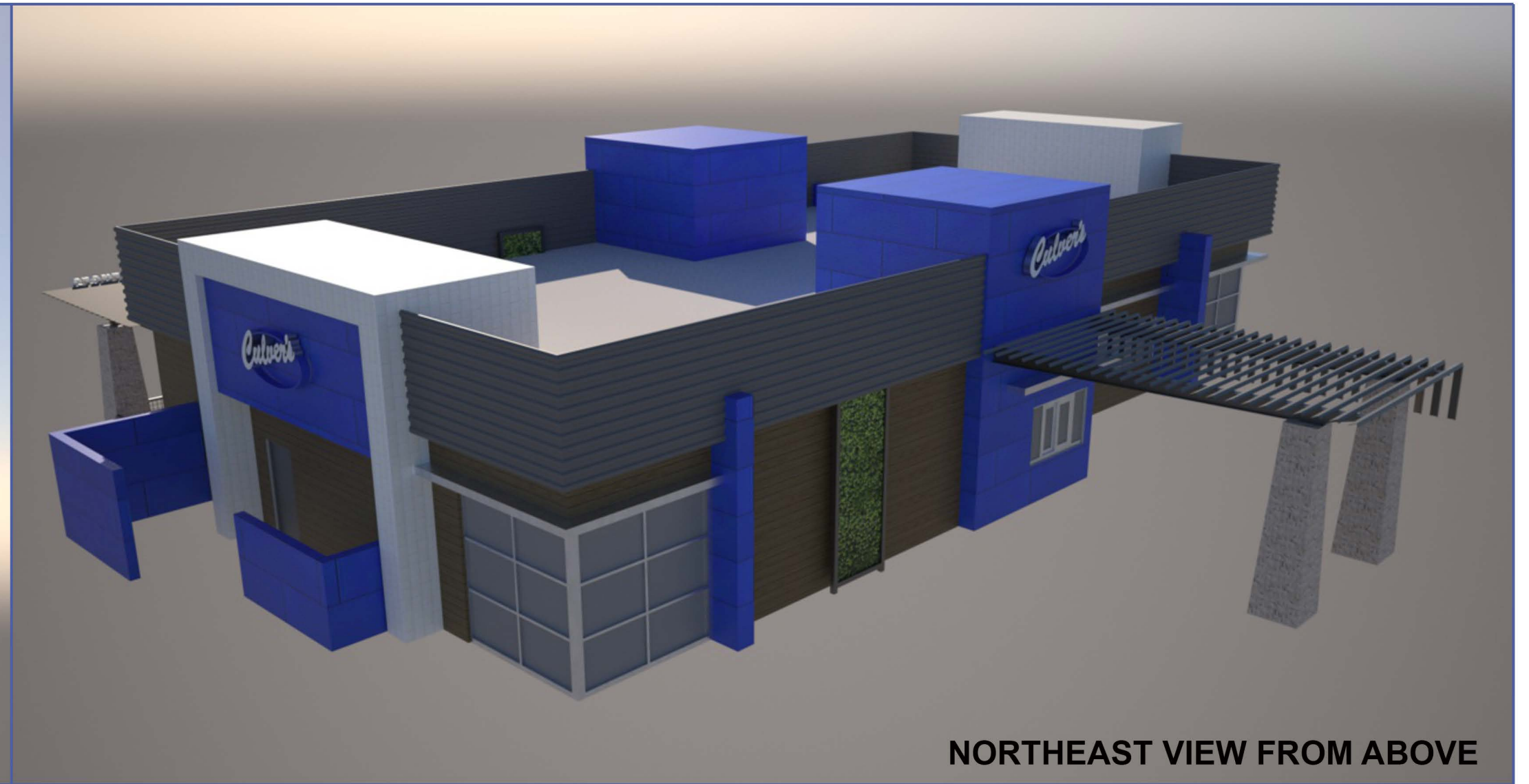


NORTHWEST VIEW FROM ABOVE



PERSPECTIVE FROM THE NORTH



NORTHEAST VIEW FROM ABOVE



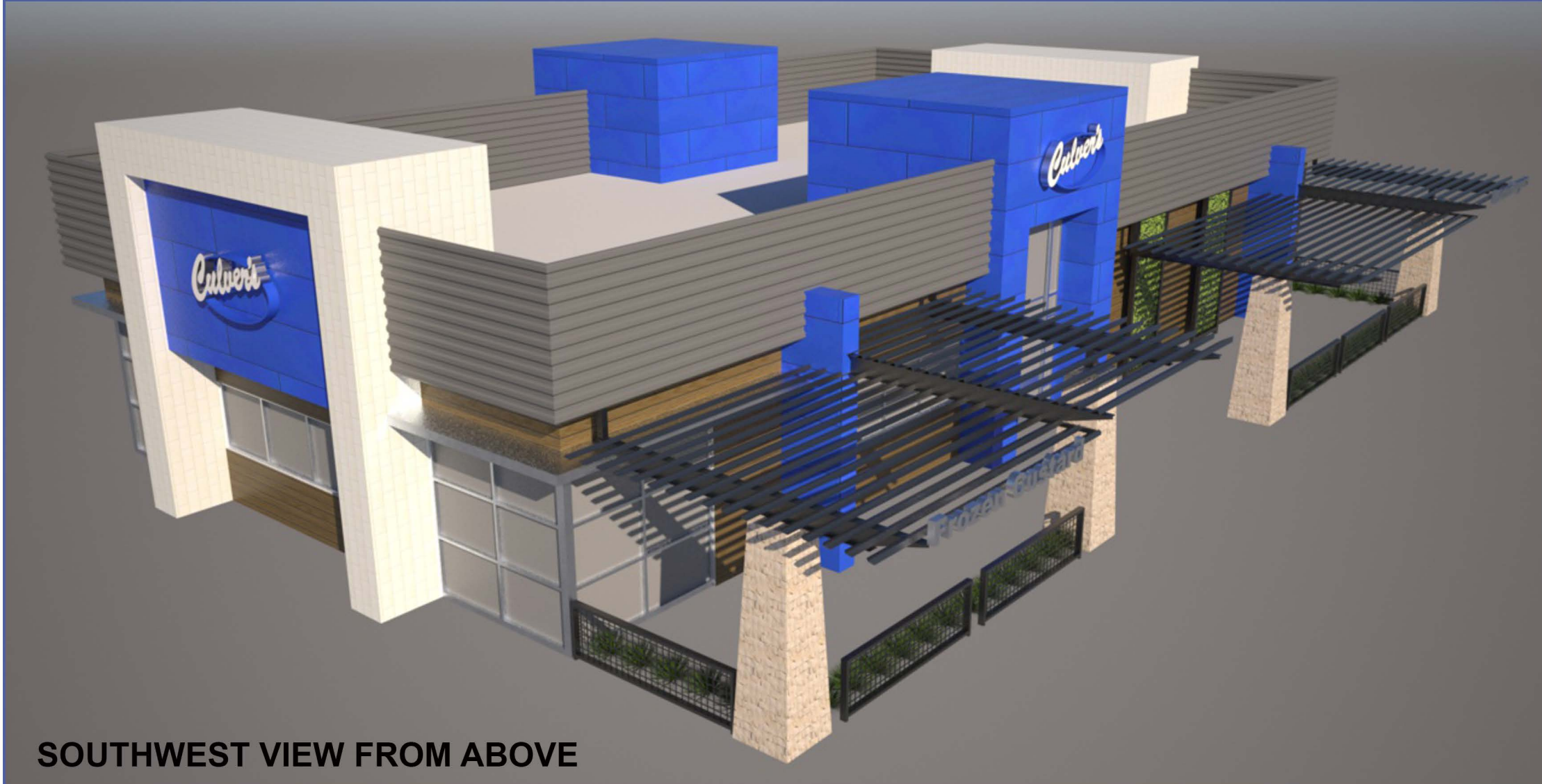
NORTHWEST VIEW FROM EYE LEVEL



PERSPECTIVE FROM THE WEST



NORTHEAST VIEW FROM EYE LEVEL



SOUTHWEST VIEW FROM ABOVE



PERSPECTIVE FROM THE SOUTH



SOUTHEAST VIEW FROM ABOVE



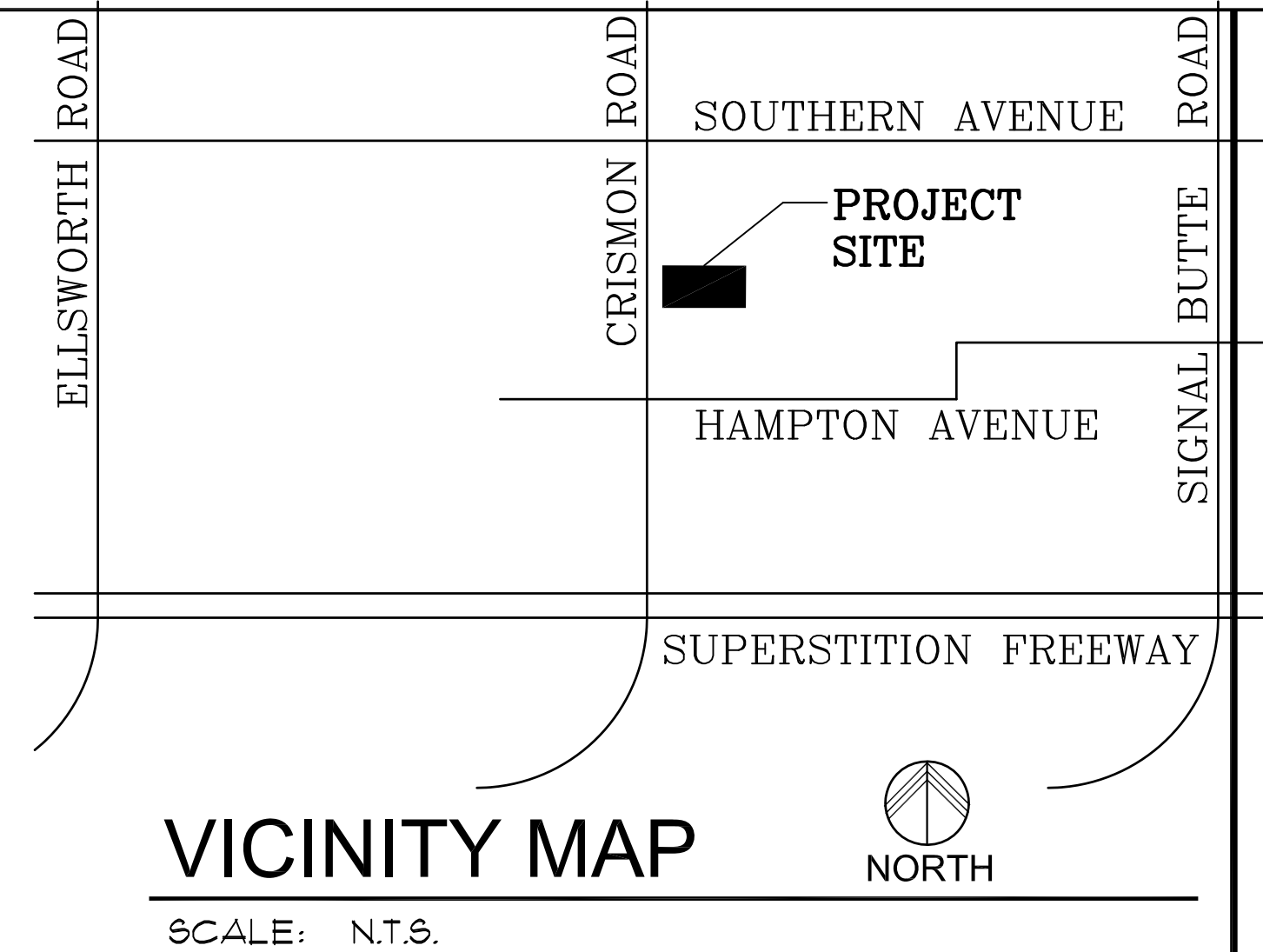
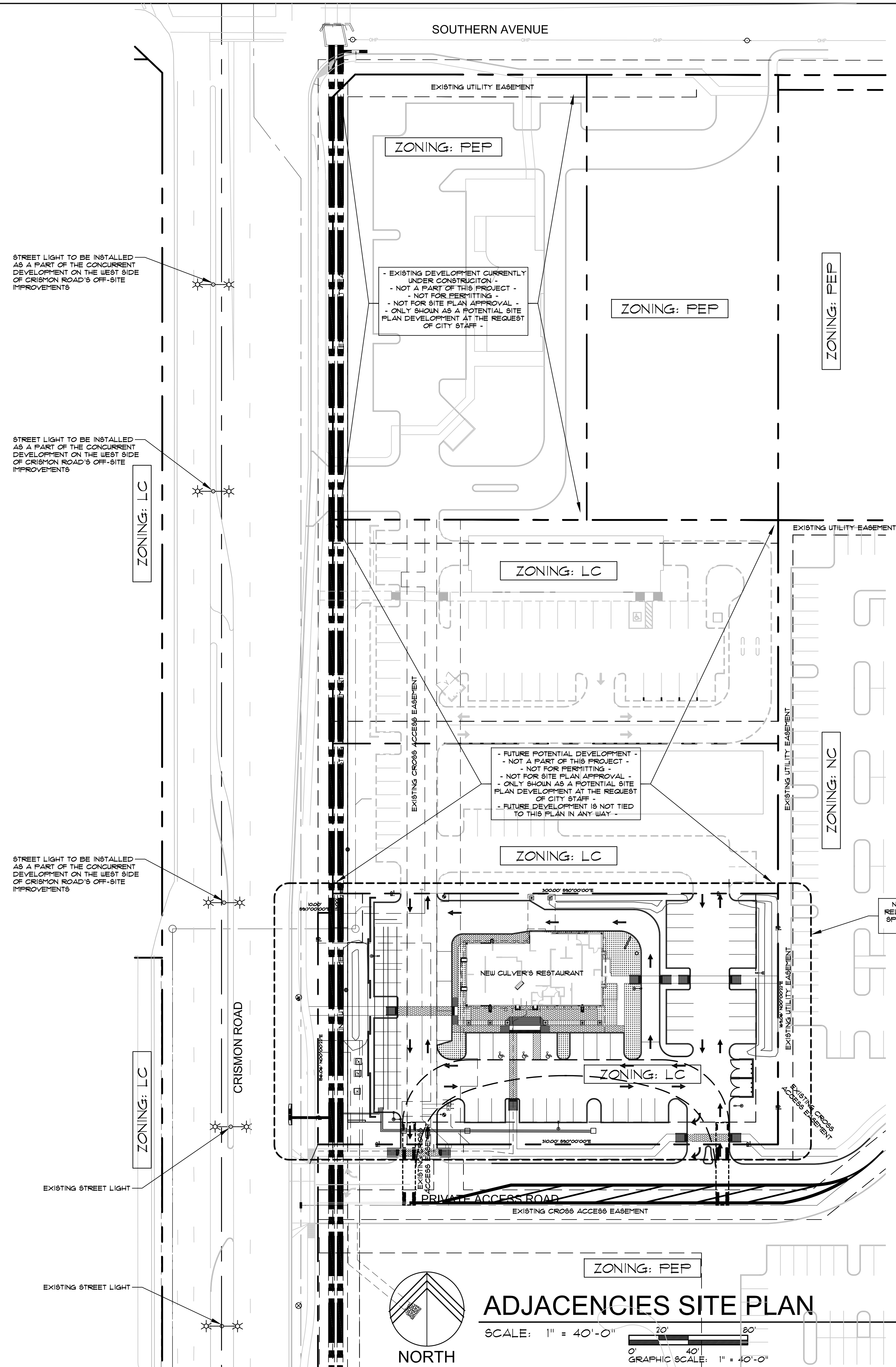
SOUTHWEST VIEW FROM EYE LEVEL



PERSPECTIVE FROM THE EAST



SOUTHEAST VIEW FROM EYE LEVEL



CODE ANALYSIS

- CONSTRUCTION TYPE: VB WITH FULL SPRINKLER PROTECTION
- EXTERIOR BEARING WALLS WALL ARE NON-COMBUSTIBLE (CMU) AND NON-RATED
 - PRIMARY STRUCTURE FRAME IS NON-RATED

SPACE	FLOOR AREA	USE	OCCUPANT LOAD
KITCHEN:	1236 SF.	A-2	PER 200 = 6.18
SEATING:	1340 SF.	A-2	PER SEATING = 121
STORAGE:	564 SF.	A-2	PER 300 = 188
OFFICE:	148 SF.	B (ACCESSORY)	PER 100 = 148
LOBBY:	626 SF.	A-2	PER 1 = 29.43
CANOPY PATIO:	142 SF.	A-2	PER SEATING = 49.5
TOTAL (INTERIOR):	4268 SF.	A-2	226 PEOPLE

- ACCESSORY OCCUPANCIES
- B IS LESS THAN 10% OF A-2 AND B IS ACCESSORY TO THE USE

BUILDING AREA LIMITS PER TABLE 503

GROUP A-2: 6,000 SF.

PROVIDED AREA: 4268 SF. IS LESS THAN 6,000 SF. = OK

BUILDING HEIGHT ALLOWED: 30'-0"

BUILDING HEIGHT PROVIDED: 27'-10" (ONE STORY)

AFN: TO BE DETERMINED

PROJECT ZONING: PEP (PLANNED EMPLOYMENT PARK)

NET LOT AREA: 52219 SF. (120 ACRES)

GROSS LOT AREA: 64,109 SF. (1.41 ACRES)

LOT COVERAGE F.A.R.: 4268 / 52219 = .0816 OR 8.16%

EGRESS:

OCCUPANT LOAD: 226 PEOPLE

NUMBER OF EXITS: 3 EXITS

REQUIRED: A-2 USE AND 198 OCCUPANTS = 2 EXITS

PROVIDED: 3

PLUMBING FIXTURE CALCULATIONS:

OCCUPANT COUNTS:

USE	MALE	FEMALE	TOTAL
B 4 S-1	138	138	276

REQUIRED MALE WATER CLOSETS

B = (138 / 75) = 2

PROVIDED MALE WATER CLOSETS = 1 + 1 URINALS

REQUIRED FEMALE WATER CLOSETS

B = (138 / 75) = 2

PROVIDED FEMALE WATER CLOSETS = 2

REQUIRED MALE LAVATORIES

B = (138 / 200) = 1

PROVIDED MALE LAVATORIES = 2

REQUIRED FEMALE LAVATORIES

B = (138 / 200) = 2

PROVIDED FEMALE LAVATORIES = 2

REQUIRED DRINKING FOUNTAINS

WATER IS PROVIDED FREE AS PART OF BUSINESS OPERATIONS

PARKING REQUIRED: ONE PER 75 SF. 4268 / 75 = 57 SPACES

PARKING PROVIDED: TOTAL: 58 SPACES

H.C. PARKING: REQUIRED: 3 SPACES PROVIDED: 3 SPACES (ALL ARE VAN ACCESSIBLE)

DRIVE THRU STACKING SPACES: REQUIRED: 8 SPACES PROVIDED: 8 SPACES

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Phoenix, AZ 85016
602.955.9929 602.954.4790 FAX
design@larson-architects.com

Larson

CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA

PRELIMINARY
JAN 04, 2016
EXPIRES: 6/30/2018

Drawing Name:

ADJACENCIES
SITE-PLAN
Revisions

Date: 01/30/2015

Project Number:

Drawing No:

SP1.0

SECTION KEYNOTES

- 1

ADJACENT GRADE OR PAVING AS OCCURS PER THE CIVIL AND LANDSCAPE PLANS - SLOPE DOWN AWAY FROM THE BUILDING
- 2

CONCRETE BUILDING SLAB OVER ABC OVER COMPACTED SOILS PER THE STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORT
- 3

CONCRETE FOOTING WITH REINFORCING PER THE STRUCTURAL DRAWINGS
- 4

WOOD STUD WALL PER THE FLOOR PLAN, WALL LEGEND AND STRUCTURAL DRAWINGS
- 5

EXTERIOR FINISH MATERIAL PER THE EXTERIOR ELEVATIONS
- 6

WOOD TRUSSES PER THE STRUCTURAL ENGINEERING DRAWINGS
- 7

ROOFING MATERIAL OVER INSULATION OVER PLYWOOD DECKING OVER WOOD TRUSSES PER THE ROOF PLAN AND STRUCTURAL DRAWINGS
- 8

PATIO RAILING - SEE DETAILS AND EXTERIOR ELEVATIONS
- 9

MECHANICAL UNITS AND ROOFING CURBS PER THE ROOF PLAN, MECHANICAL PLAN AND DETAILS
- 10

GALVANIZED METAL WALL CAPS FINISHED PER THE EXTERIOR ELEVATIONS - SEE WALL SECTIONS AND DETAILS
- 11

WINDOW CANOPIES WITH FINISH PER THE EXTERIOR ELEVATIONS - SEE STRUCTURAL DRAWINGS AND DETAILS
- 12

WINDOWS PER THE WINDOW SCHEDULE ON A6.
- 13

DOOR PER THE DOOR SCHEDULE ON A6.
- 14

INTERIOR WALL PER THE FLOOR PLAN, WALL LEGEND, WALL SHEATHING SCHEDULE, WALL FINISH PLAN AND WALL SECTIONS
- 15

INTERIOR ELEVATION BEYOND
- 16

DEPRESSED CONCRETE SLAB AND WALK-IN COOLER AND FREEZER - SEE STRUCTURAL DRAWINGS AND DETAILS
- 17

WALK-IN COOLER/FREEZER - SEE KITCHEN EQUIPMENT DRAWINGS
- 18

GYP&UM BOARD OVER WOOD STUD BULKHEAD - SEE DETAILS
- 19

BACKSIDE OF PARAPET WALL BEYOND
- 20

EXTERIOR ELEVATION BEYOND
- 21

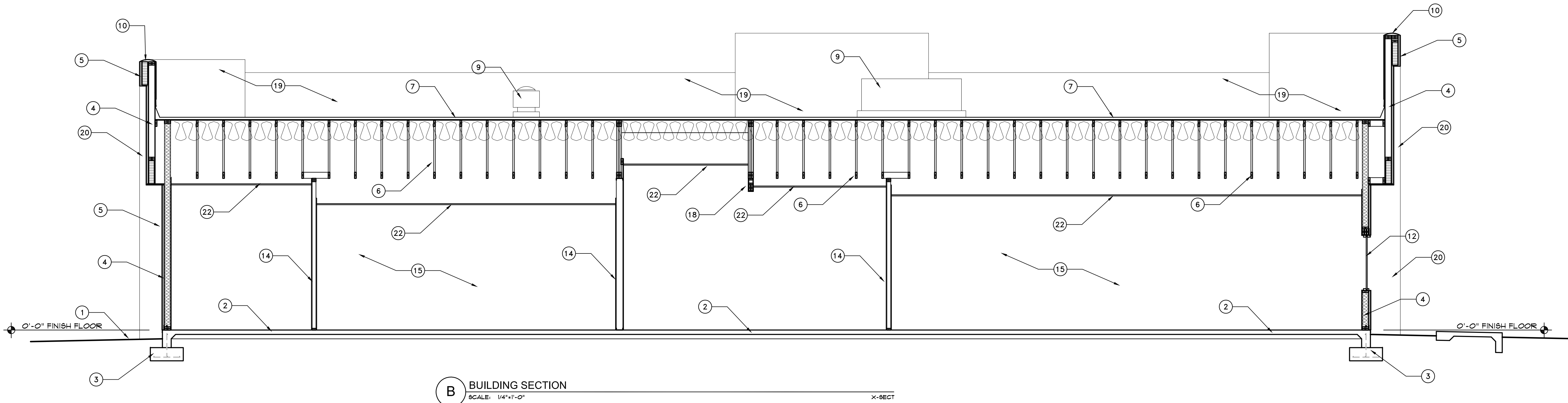
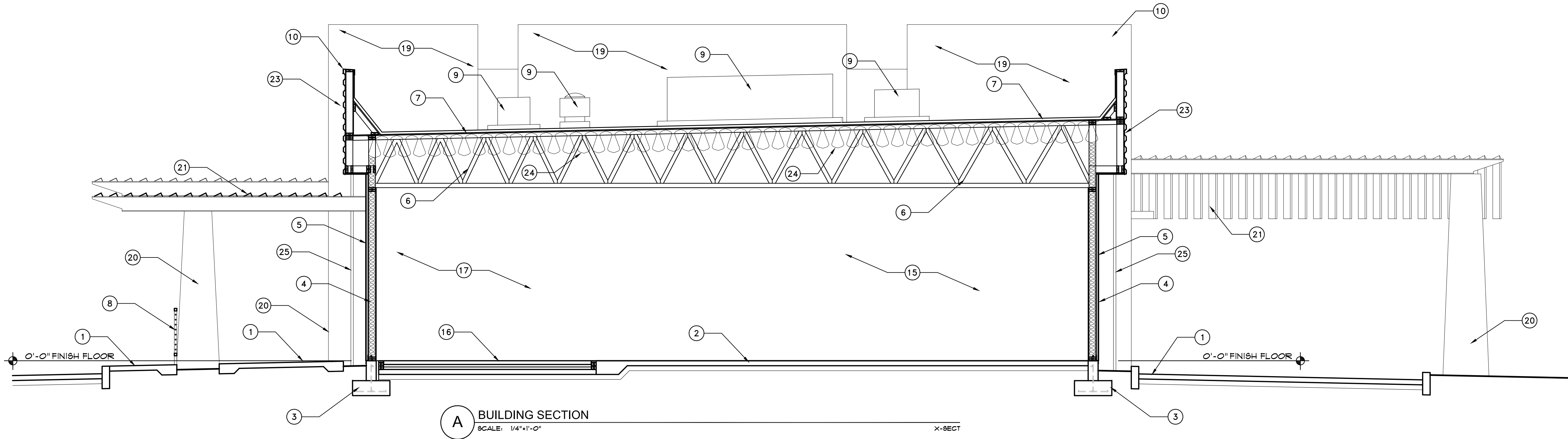
METAL PATIO / DRIVE THRU CANOPY - SEE DETAILS AND STRUCTURAL DRAWINGS
- 22

SCHEDULED CEILING - SEE REFLECTED CEILING PLAN
- 23

PARAPET WALL FOR SCREENING MECHANICAL UNITS FROM VIEW - SEE EXTERIOR ELEVATIONS
- 24

R-38 BATT INSULATION BETWEEN TRUSSES WITH 1" AIR GAP BETWEEN INSULATION AND ROOF DECKING
- 25

GREEN SCREEN - SEE DETAILS AND LANDSCAPE DRAWINGS





3 NORTH ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV



4 EAST ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV

SECTION KEYNOTES

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ADJACENT GRADE OR PAVING AS OCCURS PER THE CIVIL AND LANDSCAPE PLANS - SLOPE DOWN AWAY FROM THE BUILDING
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SCHEDULED CEILING - SEE REFLECTED CEILING PLAN

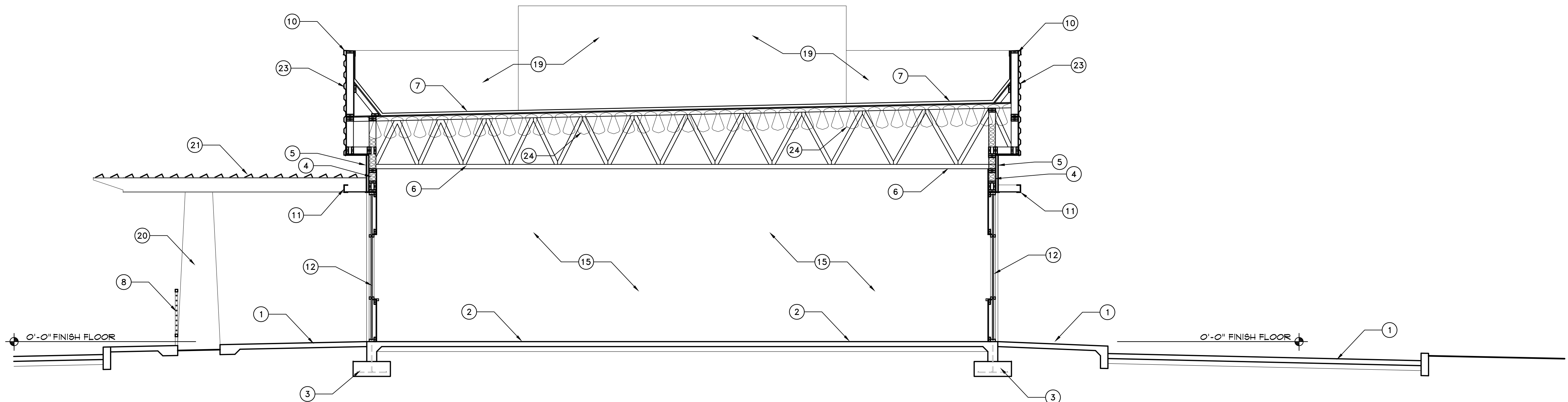
23

PARAPET WALL FOR SCREENING MECHANICAL UNITS FROM VIEW - SEE EXTERIOR ELEVATIONS

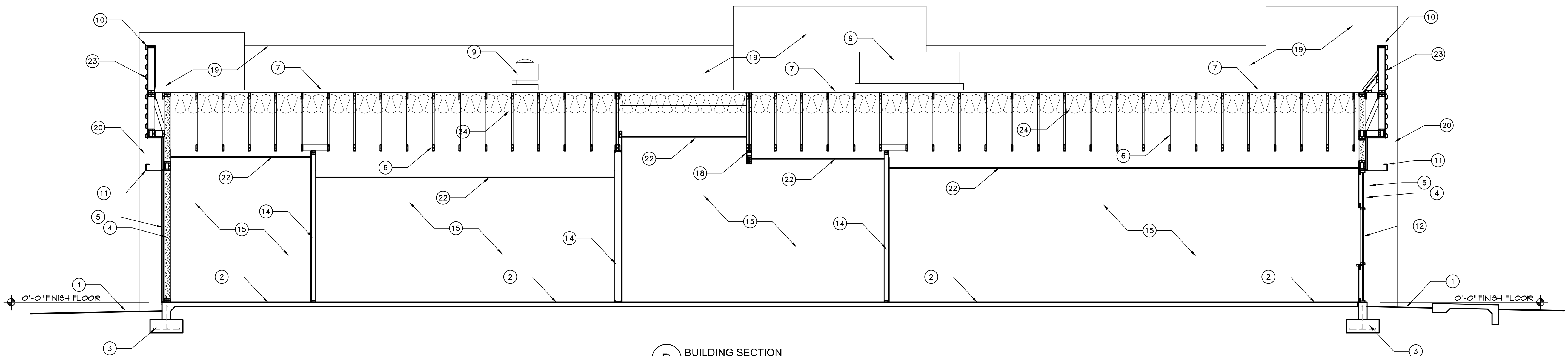
24

R-38 BATT INSULATION BETWEEN TRUSSES WITH 1" AIR GAP BETWEEN INSULATION AND ROOF DECKING

25

GREEN SCREEN - SEE DETAILS AND LANDSCAPE DRAWINGS

C BUILDING SECTION
SCALE: 1/4"=1'-0"
X-SECT



D BUILDING SECTION
SCALE: 1/4"=1'-0"
X-SECT



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV



2 WEST ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV

PLANS SHEET KEY INDEX

A0.0	OCCUPANCY AND EGRESS DIAGRAM
A1.0	DIMENSIONED FLOOR PLAN AND WALL LEGEND
A1.1	NOTED FLOOR PLAN WITH SYMBOLS
A1.2	REFLECTED CEILING PLAN
A1.3	FINISH FLOOR PLAN
A1.4	WALL FINISH PLAN
A1.5	ROOF PLAN
A1.6	EQUIPMENT PLAN
A1.7	CLERESTORY PLAN

WALL STUD LEGEND

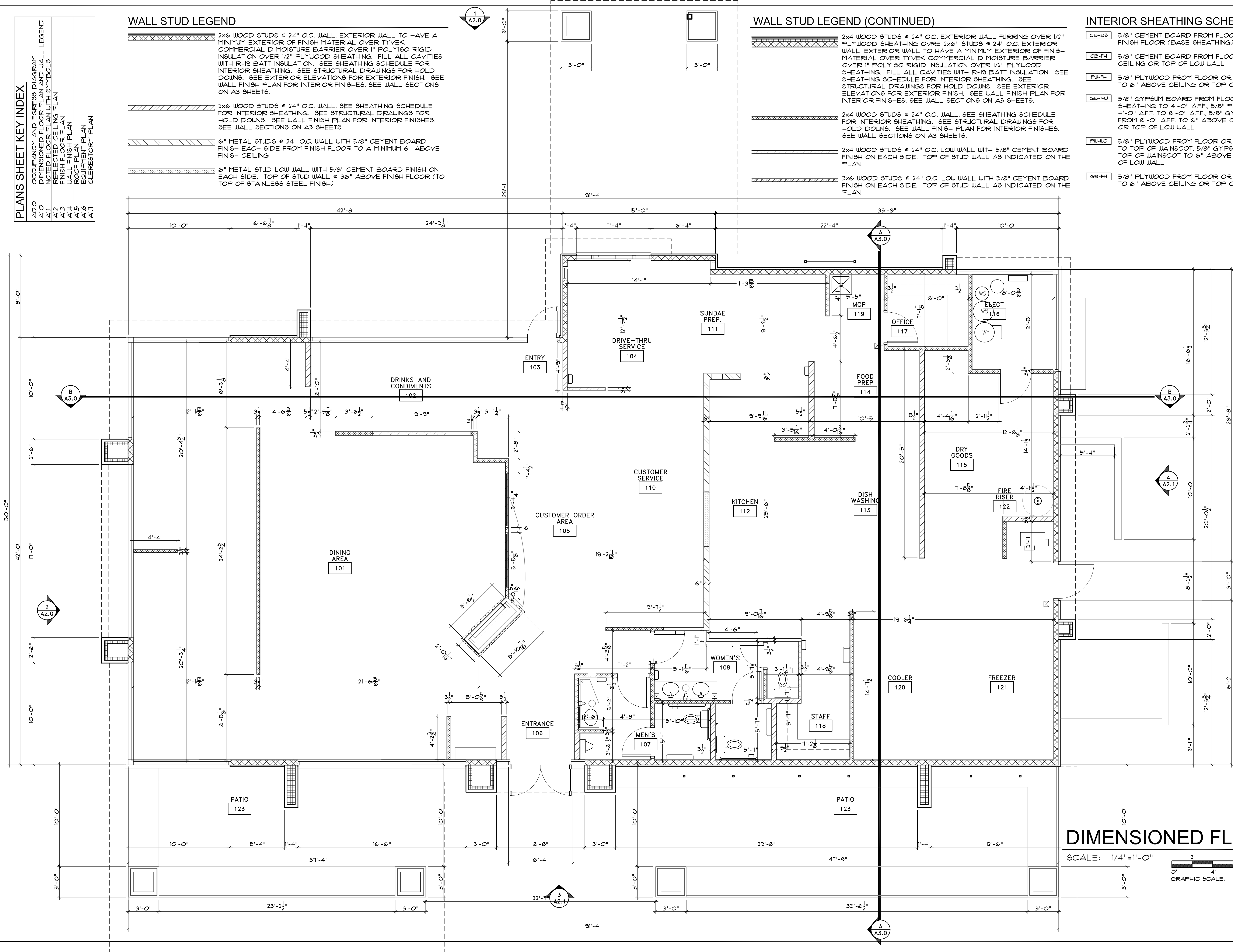
- 2x6 WOOD STUDS @ 24" O.C. WALL, EXTERIOR WALL TO HAVE A MINIMUM EXTERIOR OF FINISH MATERIAL OVER TYVEK COMMERCIAL D MOISTURE BARRIER OVER 1" POLYISO RIGID INSULATION OVER 1/2" PLYWOOD SHEATHING. FILL ALL CAVITIES WITH R-19 BATT INSULATION. SEE SHEATHING SCHEDULE FOR INTERIOR SHEATHING. SEE STRUCTURAL DRAWINGS FOR HOLD DOWNS. SEE EXTERIOR ELEVATIONS FOR EXTERIOR FINISH. SEE WALL FINISH PLAN FOR INTERIOR FINISHES. SEE WALL SECTIONS ON A3 SHEETS.
- 2x6 WOOD STUDS @ 24" O.C. WALL, SEE SHEATHING SCHEDULE FOR INTERIOR SHEATHING. SEE STRUCTURAL DRAWINGS FOR HOLD DOWNS. SEE WALL FINISH PLAN FOR INTERIOR FINISHES. SEE WALL SECTIONS ON A3 SHEETS.
- 6" METAL STUDS @ 24" O.C. WALL WITH 5/8" CEMENT BOARD FINISH EACH SIDE FROM FINISH FLOOR TO A MINIMUM 6" ABOVE FINISH CEILING
- 6" METAL STUD LOW WALL WITH 5/8" CEMENT BOARD FINISH ON EACH SIDE. TOP OF STUD WALL @ 36" ABOVE FINISH FLOOR (TO TOP OF STAINLESS STEEL FINISH)

WALL STUD LEGEND (CONTINUED)

- 2x4 WOOD STUDS @ 24" O.C. EXTERIOR WALL Furring over 1/2" PLYWOOD SHEATHING over 2x6" STUDS @ 24" O.C. EXTERIOR WALL. EXTERIOR WALL TO HAVE A MINIMUM EXTERIOR OF FINISH MATERIAL OVER TYVEK COMMERCIAL D MOISTURE BARRIER OVER 1" POLYISO RIGID INSULATION OVER 1/2" PLYWOOD SHEATHING. FILL ALL CAVITIES WITH R-19 BATT INSULATION. SEE SHEATHING SCHEDULE FOR INTERIOR SHEATHING. SEE STRUCTURAL DRAWINGS FOR HOLD DOWNS. SEE EXTERIOR ELEVATIONS FOR EXTERIOR FINISH. SEE WALL FINISH PLAN FOR INTERIOR FINISHES. SEE WALL SECTIONS ON A3 SHEETS.
- 2x4 WOOD STUDS @ 24" O.C. WALL, SEE SHEATHING SCHEDULE FOR INTERIOR SHEATHING. SEE STRUCTURAL DRAWINGS FOR HOLD DOWNS. SEE WALL FINISH PLAN FOR INTERIOR FINISHES. SEE WALL SECTIONS ON A3 SHEETS.
- 2x4 WOOD STUDS @ 24" O.C. LOW WALL WITH 5/8" CEMENT BOARD FINISH ON EACH SIDE. TOP OF STUD WALL AS INDICATED ON THE PLAN
- 2x6 WOOD STUDS @ 24" O.C. LOW WALL WITH 5/8" CEMENT BOARD FINISH ON EACH SIDE. TOP OF STUD WALL AS INDICATED ON THE PLAN

INTERIOR SHEATHING SCHEDULE

- CB-BB 5/8" CEMENT BOARD FROM FLOOR TO 12" ABOVE FINISH FLOOR (BASE SHEATHING)
- CB-FH 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING OR TOP OF LOW WALL
- PW-FH 5/8" PLYWOOD FROM FLOOR OR BASE SHEATHING TO 6" ABOVE CEILING OR TOP OF LOW WALL
- GB-PW 5/8" GYPSUM BOARD FROM FLOOR OR BASE SHEATHING TO 4'-0" AFF. 5/8" PLYWOOD FROM 4'-0" AFF. TO 8'-0" AFF. 5/8" GYPSUM BOARD FROM 8'-0" AFF. TO 6" ABOVE CEILING HEIGHT OR TOP OF LOW WALL
- PW-WC 5/8" PLYWOOD FROM FLOOR OR BASE SHEATHING TO TOP OF WAINSCOT, 5/8" GYPSUM BOARD FROM TOP OF WAINSCOT TO 6" ABOVE CEILING OR TOP OF LOW WALL
- GB-FH 5/8" PLYWOOD FROM FLOOR OR BASE SHEATHING TO 6" ABOVE CEILING OR TOP OF LOW WALL



DIMENSIONED FLOOR PLAN

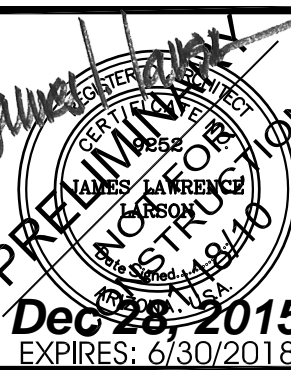
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

PLN2

NORTH

CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA



Drawing Name:
FIRST FLOOR PLAN

Revisions

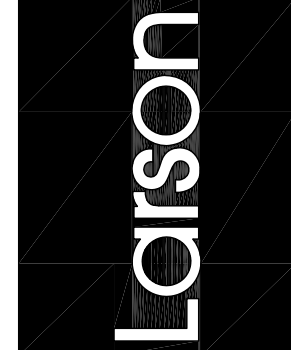
Date: 10/30/2015

Project Number:

Drawing No:

A1.0

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602.955.9929 602.954.4790 FAX
design@larson-architects.com



ELEVATION KEYNOTES

- 1

ACCENT WALL WITH EXTERIOR FINISH TO MATCH TRESPA PANEL AZURITE BLUE
- 2

BUILDING "MAIN WALL AREA" WITH EXTERIOR FINISH TO MATCH MARAZZI TILE (AMERICAN ESTATE) SADDLE
- 3

CULVER'S SIGNAGE BY SPRINGFIELD SIGN AND NEON - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 4

ALUMINUM STOREFRONT WINDOW AND DOOR FRAMES - TO BE FACTORY FINISHED IN CLEAR ANODIZED ALUMINUM
- 5

GRAY TINTED WINDOW GLAZING (MINIMUM 50% TINTING)
- 6

BRUSHED ALUMINUM FONT LETTERING - TO BE PERMITTED UNDER A SEPARATE SUBMITTAL AND PROCESS, SHOWN FOR REFERENCE ONLY.
- 7

WELDED WIRE LATTICE IN STEEL FRAME GREEN WALL TO BE POWDER COATED TO MATCH DUNN EDWARDS DE6383 "FALLEN ROCK"
- 8

FINISH OVER CMU EQUIPMENT SCREEN WALL WITH COLOR AND TEXTURE TO MATCH TRESPA PANEL AZURITE BLUE
- 9

STEEL WINDOW CANOPIES WITH OUTSIDE MEMBER UNWRAPPED IN CLEAR ANODIZED ALUMINUM BREAK METAL
- 10

B-DECKING CORRUGATED PANELS TO BE PAINTED DUNN EDWARDS DE6383 "FALLEN ROCK"
- 11

HOLLOW METAL DOOR AND FRAME TO BE PAINTED DUNN EDWARDS DE6383 "FALLEN ROCK"
- 12

MECHANICAL EQUIPMENT BEYOND TO BE FULLY SCREENED BY PARAPET - EQUIPMENT SHOWN IS FOR REPRESENTATION PURPOSE ONLY, EXACT LOCATION, NUMBER OF UNITS AND SIZE YET TO BE DETERMINED
- 13

STEEL BUILDING CANOPY (EATING PATIO AND DRIVE-THRU SHADE) TO BE PAINTED DUNN EDWARDS DE6383 "FALLEN ROCK"
- 14

STEEL CANOPY COLUMN TO BE PAINTED DUNN EDWARDS DE6383 "FALLEN ROCK"
- 15

SEATING AREA RAILING AND WELDED WIRE MESH CONTAINMENT TO BE POWDER FINISHED TO MATCH DUNN EDWARDS DE6383 "FALLEN ROCK"
- 16

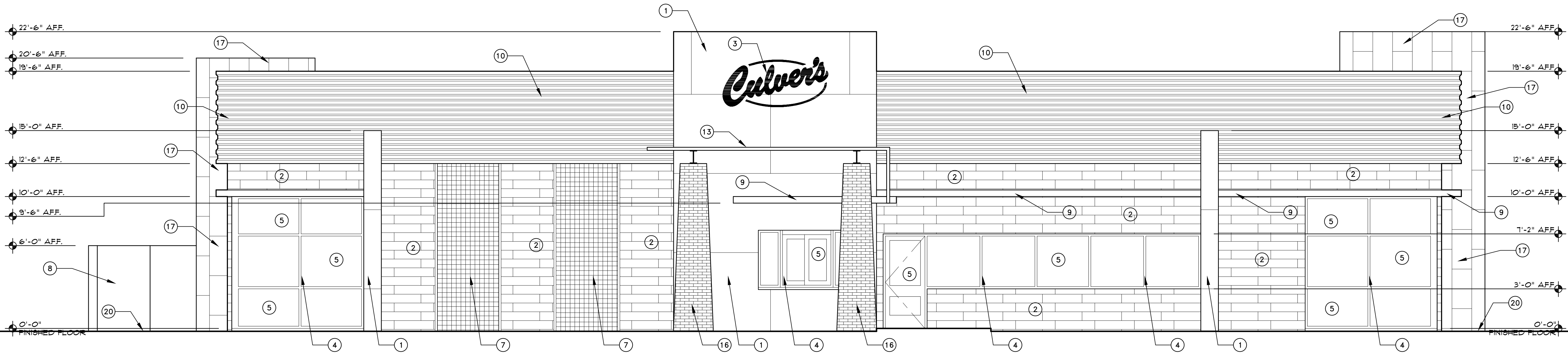
CANOPY COLUMN BASES OF THICK SET VENEER STONE TO BE CORONADO STONE PLAYA VISTA SERIES LIMESTONE 3" FLIT PATTERN IN CREAM COLOR
- 17

BORDER ACCENT WALL WITH COLOR AND TEXTURE TO MATCH MARAZZI TILE (LOUNGE14) SPITZER
- 18

ADDRESS NUMBERS. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS AND BUILDING NUMBERS SHALL BE A MINIMUM OF 12 INCHES (305 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 2.0 INCH (51 MM). ADDRESS NUMBERS SHALL BE MAINTAINED. FIELD VERIFY EXACT LOCATION WITH THE FIRE MARSHALL.
- 19

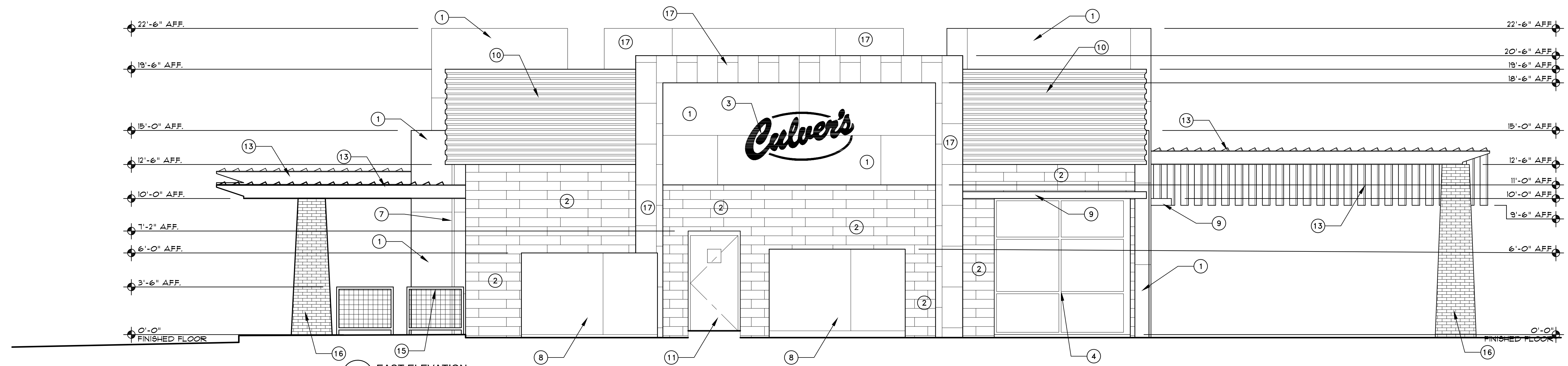
METAL ROOF OVERFLOW LEADER WITH BRASS FINISH (MAIN ROOF DRAIN TO CONNECT UNDERGROUND TO THE UNDERGROUND STORM DRAIN RETENTION PER CIVIL DRAWINGS) FROM ROOF DRAIN LINE INTERNAL TO BUILDING
- 20

ADJACENT GRADE OR PAVING TO SLOPE AWAY FROM THE BUILDING - SEE SITE PLAN, LANDSCAPE DRAWINGS AND CIVIL DRAWINGS



3 NORTH ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV



4 EAST ELEVATION
SCALE: 1/4"=1'-0"

X-ELEV

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WELDED WIRE LATTICE IN STEEL FRAME GREEN WALL TO BE POWDER COATED TO MATCH DUNN EDWARDS DE6389 "FALLEN ROCK"
- 8

FINISH OVER CMU EQUIPMENT SCREEN WALL WITH COLOR AND TEXTURE TO MATCH TRESPA PANEL AZURITE BLUE
- 9

STEEL WINDOW CANOPIES WITH OUTSIDE MEMBER WRAPPED IN CLEAR ANODIZED ALUMINUM BREAK METAL
- 10

B-DECKING CORRUGATED PANELS TO BE PAINTED DUNN EDWARDS DE6389 "FALLEN ROCK"
- 11

HOLLOW METAL DOOR AND FRAME TO BE PAINTED DUNN EDWARDS DE6389 "FALLEN ROCK"
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MECHANICAL EQUIPMENT BEYOND TO BE FULLY SCREENED BY PARAPET - EQUIPMENT SHOWN IS FOR REPRESENTATION PURPOSE ONLY, EXACT LOCATION, NUMBER OF UNITS AND SIZE YET TO BE DETERMINED
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- 14

STEEL CANOPY COLUMN TO BE PAINTED DUNN EDWARDS DE6389 "FALLEN ROCK"
- 15

SEATING AREA RAILING AND WELDED WIRE MESH CONTAINMENT TO BE POWDER FINISHED TO MATCH DUNN EDWARDS DE6389 "FALLEN ROCK"
- 16

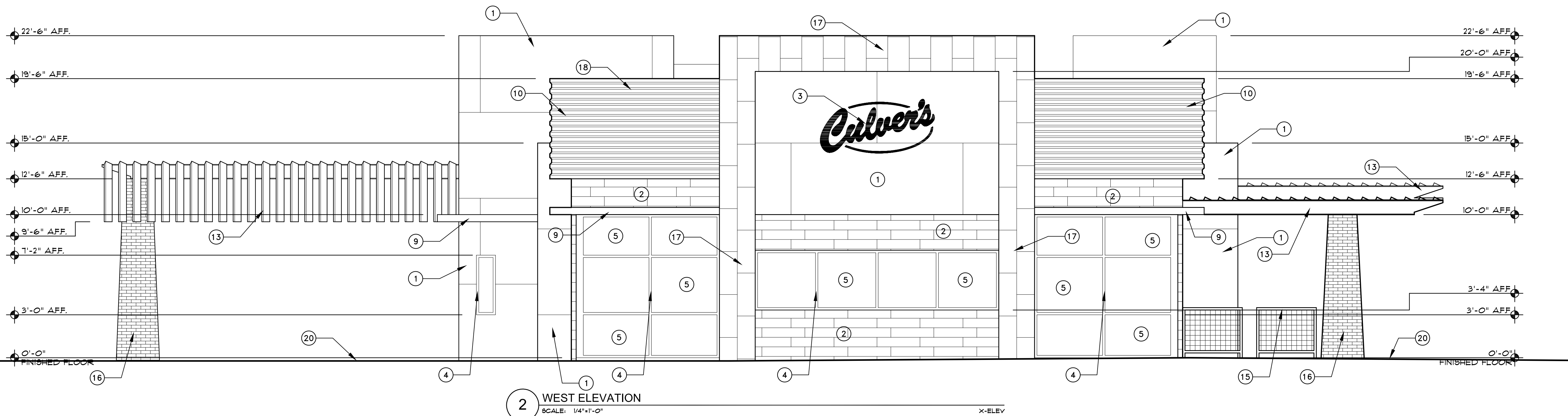
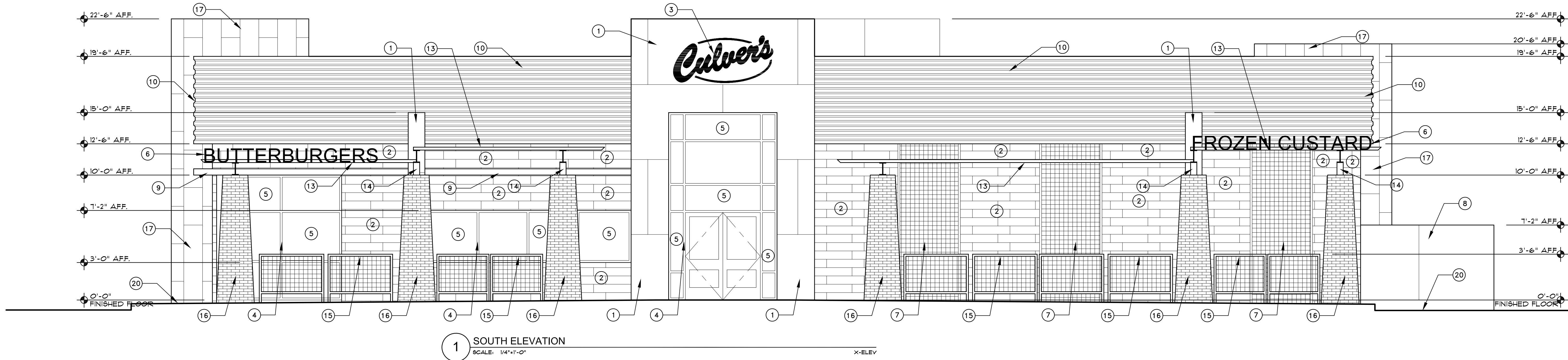
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METAL ROOF OVERFLOW LEADER WITH BRASS FINISH (MAIN ROOF DRAIN TO CONNECT UNDERGROUND TO THE UNDERGROUND STORM DRAIN RETENTION PER CIVIL DRAWINGS) FROM ROOF DRAIN LINE INTERNAL TO BUILDING
- 20

ADJACENT GRADE OR PAVING TO SLOPE AWAY FROM THE BUILDING - SEE SITE PLAN, LANDSCAPE DRAWINGS AND CIVIL DRAWINGS



KEYED NOTES

- (X)
1. NEW SURFACE RETENTION
 2. NEW UNDERGROUND RETENTION
 3. EXISTING CITY STORM DRAIN
 4. NEW STORM BLEED LINE AND VALVE
 5. EXISTING 8" WATER
 6. NEW 8" WATER IN EASEMENT
 7. NEW FIRE HYDRANT
 8. NEW METER SERVICE
 9. EXISTING DRIVEWAY
 10. FUTURE DEVELOPMENT
 11. NEW PRIVATE CROSS ACCESS
 12. EXISTING ONSITE (MOUNTAIN VISTA MEDICAL CENTER) ONSITE DRIVE
 13. RECENTLY INSTALLED PUBLIC SEWER
 14. NEW ONSITE STORM DRAIN AND INLETS
 15. SEWER CONNECTION
 16. NEW 20' ESMT BY SEPARATE INSTRUMENT
 17. 2007 EASEMENT TO BE VACATED
 18. WIDEN EXISTING DRIVEWAY
 19. STRIPED PRIVATE MEDIAN
 20. PRIVATE DRIVE DIVERTER - ROLL CURB WITH HARDSCAPE INTERIOR

PRELIMINARY G/D PLAN
CULVER'S SOUTH CRISMON
SEC OF E. SOUTHERN AND S. CRISMON, MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 35,
TOWNSHIP 1 NORTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER BASE
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

FEMA CLASSIFICATION: ZONE X; 04013C2240E
GROSS / NET LAND AREA: 2.93 ACRES

NARRATIVE:
PROJECT IS THE DEVELOPMENT OF A DRIVE THRU RESTAURANT BUILDING INCLUDING SITEWORK,
PARKING AND ONSITE RETENTION.

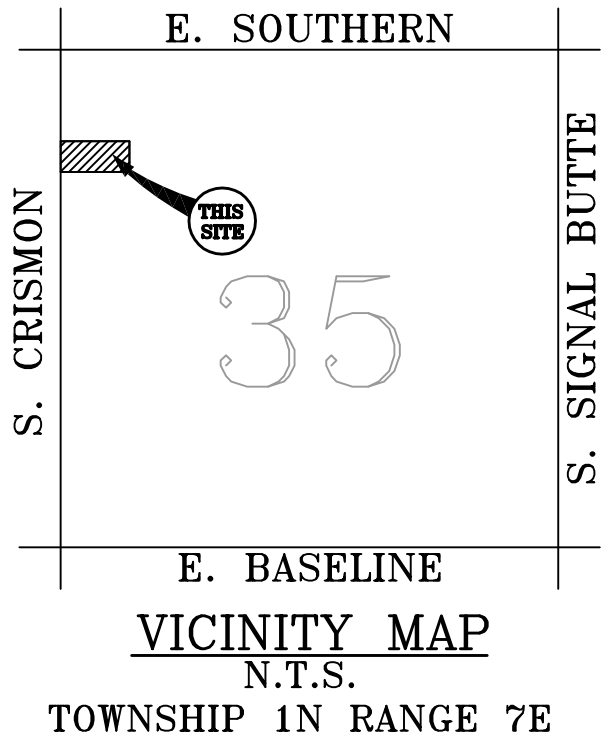
THIS LOT WILL SELF RETAIN THE 100 YEAR 2 HOUR EVENT. OFFSITE ROADWAYS ARE
CURRENTLY HANDLED BY DEVELOPED ROADWAYS AND STORM DRAIN.

FINISH FLOOR IS SET ABOVE THE LOW OUTFALL AT THE SOUTHWEST CORNER OF THE SITE.

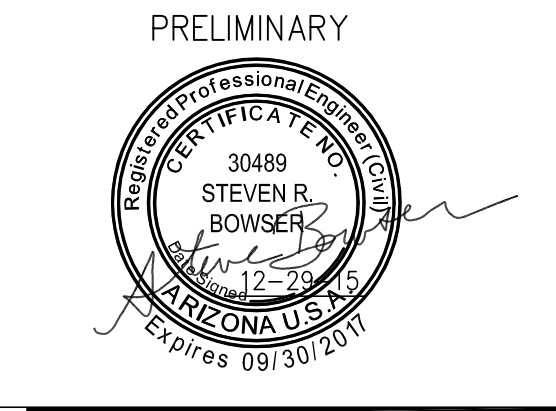
LOW OUTFALL IS THE SOUTHWEST CORNER OF THE SITE.

SITE IS LOCATED IN FEMA ZONE X (SHADED)

NAME	AREA	C FACTOR	100YR 2HR DEPTH	VOL REQ	VOL PROV
0-1	35500	0.90	2.2	5858	5994 (UG)
0-2	2512	0.90	2.2	414	423 (SURFACE)
0-3	8100	0.90	2.2	1337	1485 (SURFACE)
0-4	4700	0.70	2.2	603	644 (SURFACE)



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RELEASE	DATE
10-29-15	PRELIM ENGR
12-30-15	PRELIM ENGR

REVISIONS	NO.	DATE

PROJECT NAME
Culver's Crismon

PROJECT LOCATION

PROJECT

HELIX JOB NUMBER
203

IN HOUSE
DRAWN BY: HXE
CHECKED BY: SB

SHEET TITLE

PRELIM GD PLAN

SHEET
GD-1

PAGE
1 OF 1

PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"

SYMBOLS LEGEND:

- NAME
INDICATES ROOM NAME AND NUMBER
(SEE FINISH SCHEDULE ON SHEET A6.0)
- DOOR# INDICATES DOOR NUMBER
(SEE DOOR SCHEDULE ON SHEET A6.1)
- X INDICATES WINDOW TYPE
(SEE WINDOW SCHEDULE ON SHEET A6.2)
- WALL CABINET WITH 5 LBS. 2A-10B.C FIRE
EXTINGUISHER- BY G.C. - SEE 26 AND
27/AS.2
- EXIT LIGHT (ACRYLIC BLADE 4 EDGE LIT) -
SEE ELECTRICAL DRAWINGS

FLOOR PLAN GENERAL NOTES

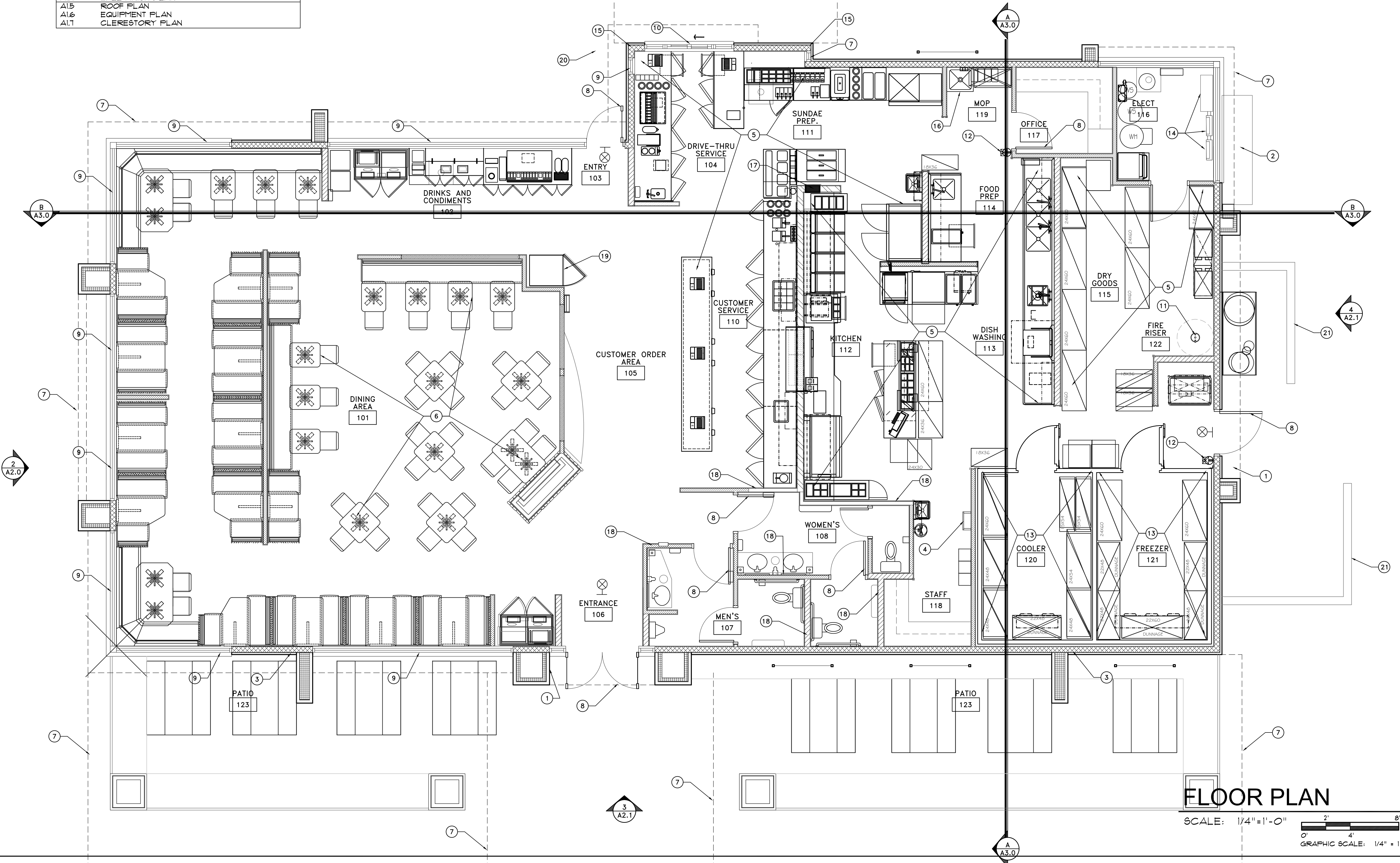
- A.) ALL DIMENSIONS GIVEN ARE TO FACE OF
STUD TO FACE OF STUD BASED ON NOMINAL STUD
SIZING UNLESS NOTED OTHERWISE.
- B.) ALL DOORS TO BE LOCATED 4" FROM
ADJACENT PERPENDICULAR SURFACE TO FINISH
OPENING - UNO.
- C.) PROVIDE BLOCKING IN WALL FOR ALL WALL
MOUNTED MILLWORK SUPPLIED AND INSTALLED
BY CONTRACTOR.
- D.) ALL OWNER FURNISHED EQUIPMENT
INSTALLATION SHALL BE COORDINATED WITH G.C.
- E.) ALL DIMENSIONS ARE ROUGH OPENINGS
UNLESS NOTED OTHERWISE.

PLANS SHEET KEY INDEX

A0.0	OCCUPANCY AND EGRESS DIAGRAM
A1.0	DIMENSIONED FLOOR PLAN AND WALL LEGEND
A1.1	NOTED FLOOR PLAN WITH SYMBOLS
A1.2	REFLECTED CEILING PLAN
A1.3	FINISH FLOOR PLAN
A1.4	WALL FINISH PLAN
A1.5	ROOF PLAN
A1.6	EQUIPMENT PLAN
A1.7	CLERESTORY PLAN

FLOOR PLAN KEYNOTES

- 1 KNOX BOX PER CITY OF MESA STANDARDS
- 2 SERVICE ENTRY SECTION - SEE ELECTRICAL DRAWINGS
- 3 ROOF DRAIN AND OVERFLOW - SEE PLUMBING DRAWINGS
- 4 ROOF ACCESS LADDER - SEE DETAILS
- 5 FOOD SERVICE EQUIPMENT, TYPICAL - SEE FOOD
SERVICE 'FS' DRAWINGS
- 6 NON-FIXED FURNITURE BY OWNER
- 7 SHADE STRUCTURE/CANOPY ABOVE
- 8 DOOR, TYPICAL - SEE DOOR SCHEDULE
- 9 WINDOW, TYPICAL - SEE WINDOW SCHEDULE
- 10 DRIVE-THRU WINDOW - SEE WINDOW SCHEDULE
- 11 FIRE RISER PER CITY OF MESA STANDARDS
- 12 SURFACE MOUNTED 5 LBS 2A-20BC FIRE EXTINGUISHER -
SEE DETAIL - MOUNT CENTER OF EXTINGUISHER @ 36"
AFF.
- 13 WALK-IN COOLER/FREEZER PER MANUFACTURER'S SHOP
DRAWINGS
- 14 ELECTRICAL PANEL - SEE ELECTRICAL
DRAWINGS
- 15 COLUMNS - SEE STRUCTURAL DRAWINGS
- 16 BUILT-IN MOP SINK WITH TRENCH DRAIN AND
TILE FINISH
- 17 STUD SPACE FOR REFRIGERATION CASE
- 18 ACOUSTICAL INSULATION IN STUD CAVITIES (ALL
RESTROOM WALLS)
- 19 CUSTARD CASE - SEE MILLWORK DETAILS
- 20 DRIVE WAY GUARD RAIL - SEE DETAILS
- 21 EXTERIOR EQUIPMENT SCREEN WALL

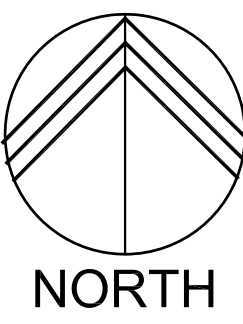


FLOOR PLAN

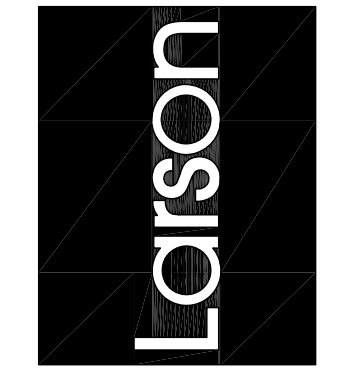
SCALE: 1/4" = 1'-0"

0' 2' 4' 8'

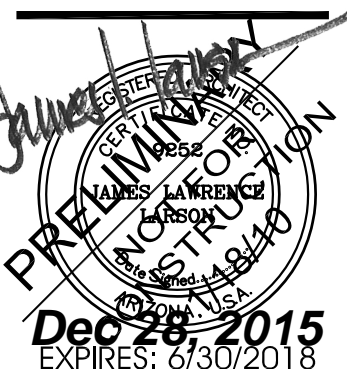
GRAPHIC SCALE: 1/4" = 1'-0"



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CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA



Drawing Name:
FIRST
FLOOR PLAN

Revisions

Date: 03/30/2015

Project Number:

Drawing No:
A1.1

- ① SINGLE PLY .050 (MINIMUM) WHITE GREASE RESISTANT PVC MEMBRANE FULLY ADHERED ON TWO 2" EXTRUDED POLYISOCYANURATE INSULATION SYSTEM WITH A 6 MIL PLY VAPOR BARRIER ON WARM SIDE OF INSULATION. ROOF SHEETING FINISH PER STRUCTURAL DRAWINGS - RUN ROOFING MEMBRANE VERTICAL UP INSIDE OF PARAPET WALLS.
- ② TAPERED CRICKET PROVIDING 1/4" PER FOOT ROOF SLOPE (MINIMUM) CRICKETS TO BE BUILT UP FROM RIGID FOAM INSULATION OR CONTRACTORS OPTION TO PROVIDE 2x4 FRAMING AT 16" O.C. WITH 3/4" EXTERIOR GRADE PLYWOOD SHEATHING.
- ③ ROOF ACCESS HATCH - SEE DETAILS.
- ④ PARAPET WALL CAP - SEE DETAILS AND EXTERIOR ELEVATIONS.

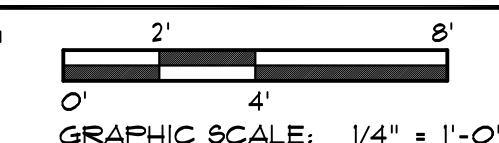
- (5) NOT USED
- (6) STEEL WINDOW CANOPIES BELOW - SEE DETAILS
- (7) MECHANICAL UNITS - SEE MECHANICAL PLANS
- (8) LINE OF BUILDING BELOW
- (9) EXHAUST VENT - SEE MECHANICAL PLANS
- (10) ROOF WALK PADS AS REQUIRED PER THE ROOFING MANUFACTURER'S PRINTED INSTRUCTIONS.
- (11) REFRIGERATION CONDENSER/COMPRESSOR - SEE MECHANICAL DRAWINGS
- (12) ROOF DRAINS - SEE PLUMBING PLANS

13 HATCHED AREA INDICATES 10'-0" (MINIMUM) CLEAR AREA AROUND EXHAUST UNITS TO NEAR ALLOWED AIR INTAKE FOR HVAC SYSTEM

14 STEEL TRELLIS CANOPY OVER PATIO / DRIVE-THRU PER EXTERIOR ELEVATIONS



SCALE: 1/4" = 1'-0"



PLN2

Revisions

Date: 10/30/2015

Project Number:

Drawing No:

A15

RELINQUISH NO FORFEITURE

Dec 28, 2015

EXPIRES: 6/30/2018

Drawing Name:
ROOF PLAN


Revisions

Date: 10/30/2015

Project Number:

Drawing No:

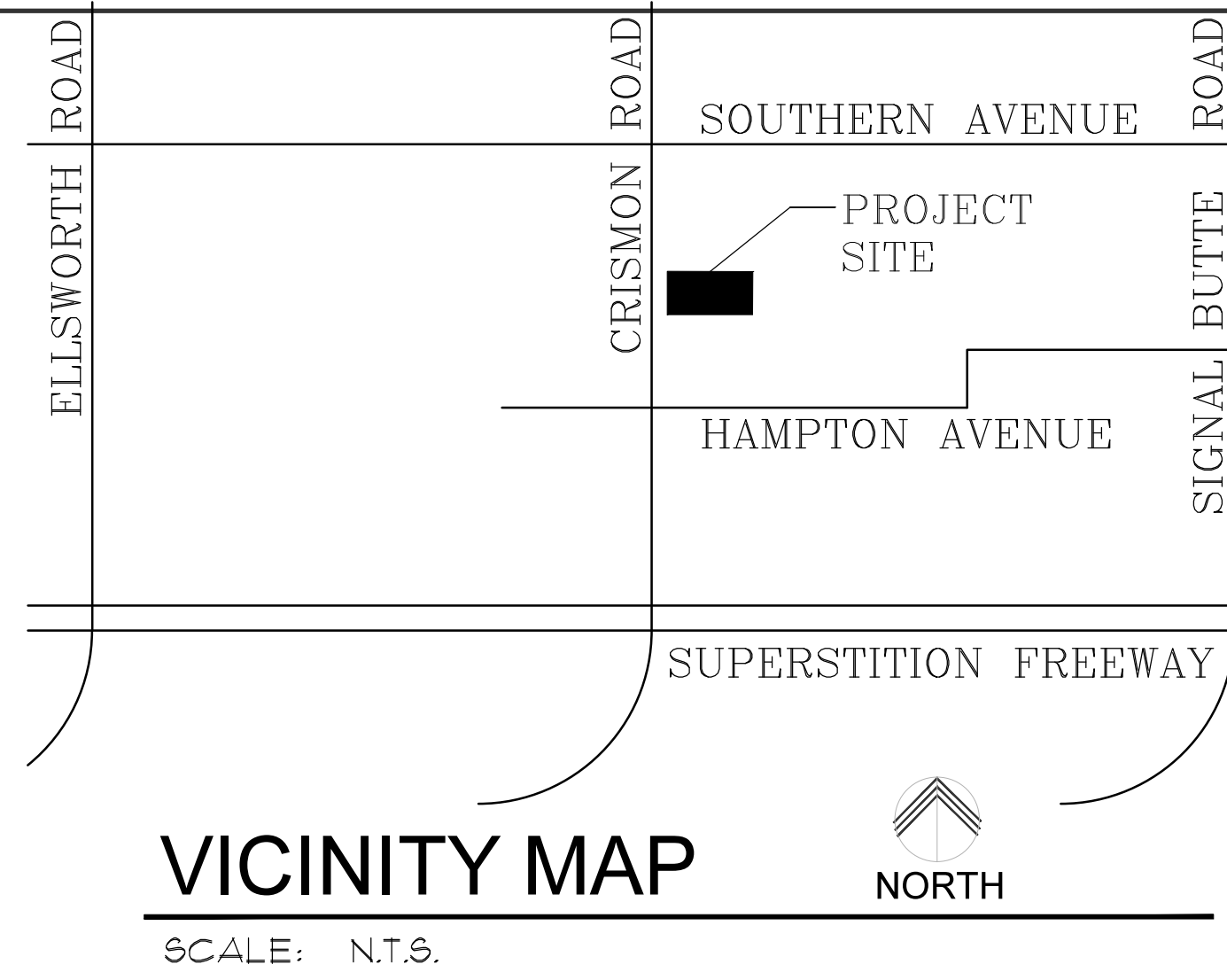
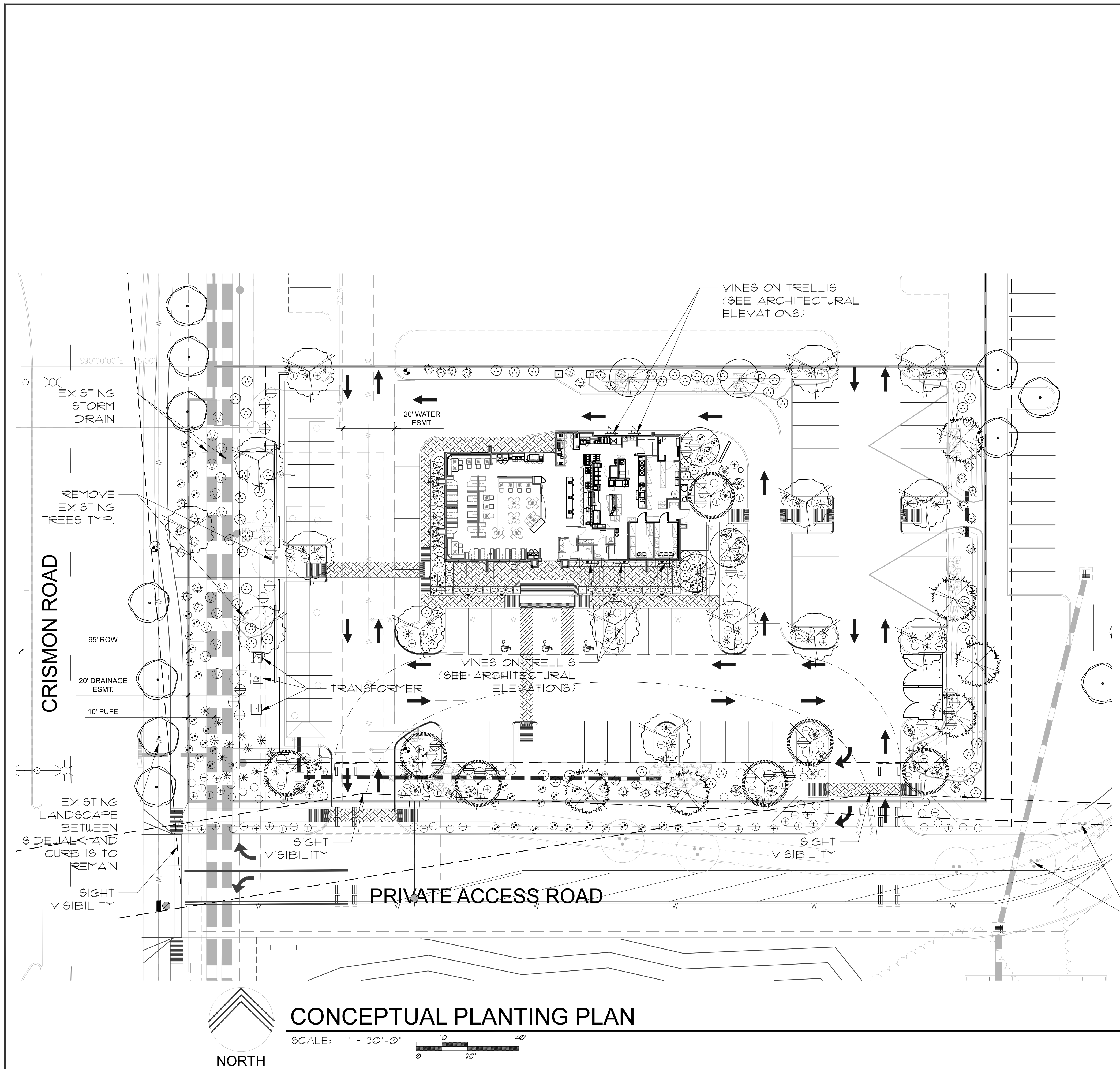
A15



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CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA



PLANT SCHEDULE

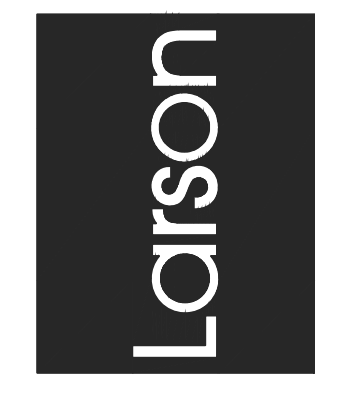
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES					
	Existing Tree (To Be Removed)			5	
	Existing Tree (To Remain)				
	Dalbergia Sissoc	Dalbergia	24" Box 1" Caliper	6	Multi-Trunk, Dense Canopy
	Ulmus Parviflora	Evergreen Elm	24" Box 1" Caliper	15	Standard, Dense Canopy
	Oleia Tesota 'AZT'	'AZT' Ironwood	36" Box 2" Caliper	1	Standard, Dense Canopy
	Caesalpinia Mexicana	Mexican Bird of Paradise	24" Box 1" Caliper	5	Standard, Dense Canopy
CACTI/ACCENTS					
	Agave Desmettiana	Dwarf Century Plant	5-Gal	32	As Per Plan
	Aloe Barbadosensis	Medicinal Aloe	5-Gal	18	As Per Plan
	Hesperaloe Parviflora	Red Yucca	5-Gal	51	As Per Plan
	Muhlenbergia Rigida 'Nashville'	'Nashville' Grass	5-Gal	31	As Per Plan
	Podranea Ricasolliana	Pink Trumpet Vine	5-Gal	8	Staked
	Trachelospermum Jasminoides	Star Jasmine	5-Gal	2	Staked
SHRUBS					
	Tecoma 'Sparky'	'Sparky' Tecoma	5-Gal	66	As Per Plan
	Leucophyllum Langmaniae 'Lynn's Legacy'	'Lynn's Legacy' Sage	5-Gal	14	As Per Plan
	Ruellia Peninsularis	Baja Ruellia	5-Gal	57	As Per Plan
	Myrtus 'Compacta'	Compact Myrtle	5-Gal	23	As Per Plan
GROUND COVERS					
	Lantana 'New Gold'	'New Gold' Lantana	1-Gal	141	As Per Plan
	Rosmarinus 'Huntington Carpet'	'Huntington Carpet' Rosemary	1-Gal	53	As Per Plan
MISCELLANEOUS					
DG	Decomposed Granite - Color: Express Gold Size: 1/2" screened, 2" depth in all planting areas (typ)				

MESA LANDSCAPE CALCULATIONS

STREET FRONTAGE (180 LINEAL FEET):	
TREES REQUIRED: 8	SHRUBS REQUIRED: 48
TREES PROVIDED: 8 (5 Existing, 3 New)	SHRUBS PROVIDED: 64

REMOVE EXISTING TREES TO ACCOMMODATE NEW DRIVE TYP.

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CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA



Drawing Name:
CONCEPTUAL PLANTING PLAN

Revisions
01/05/2016 1st DR

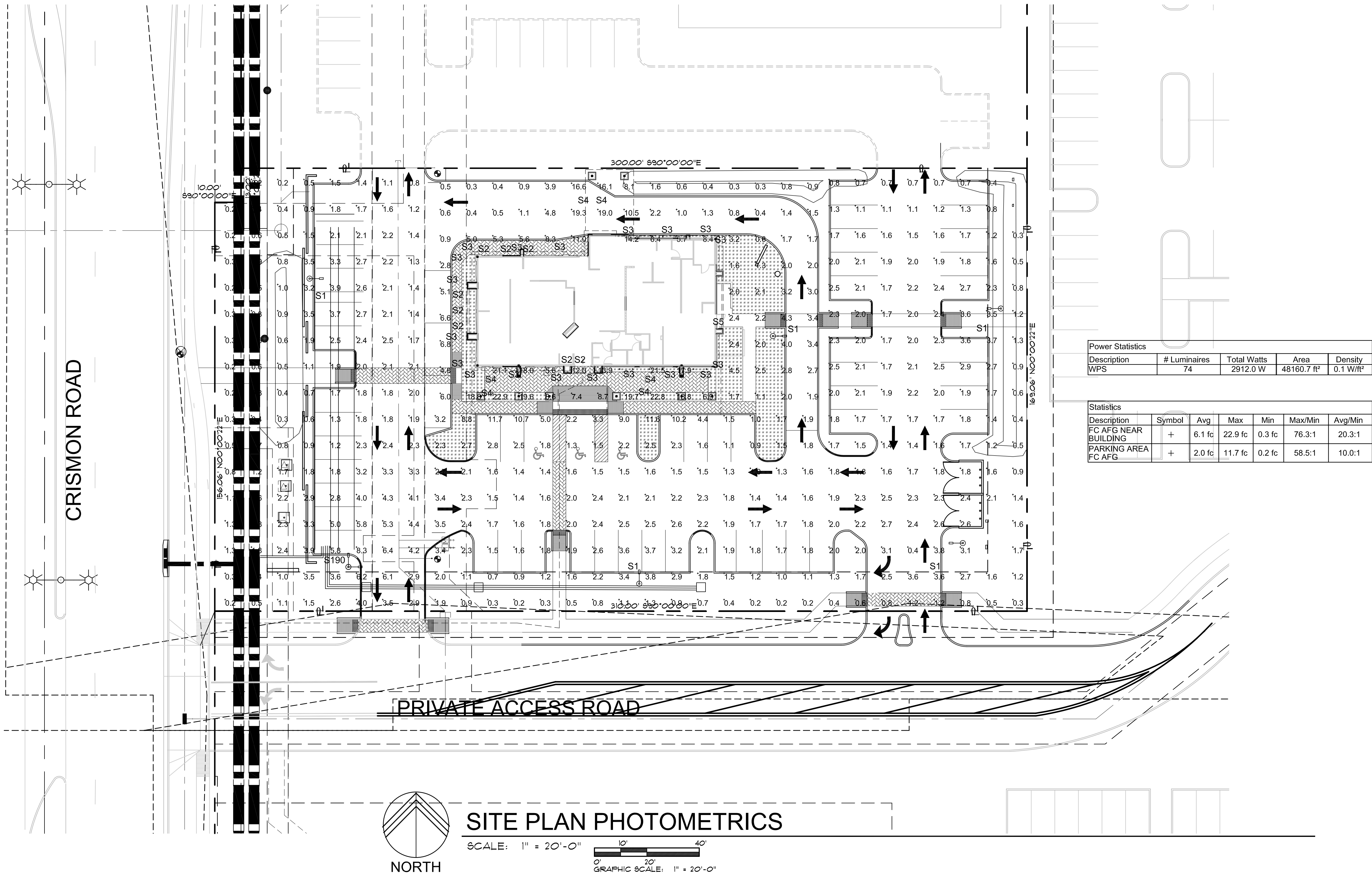
Date: 9/23/2015

Project Number:

Drawing No:

L1.0

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	5	Lithonia Lighting	DSX1 LED 40C 1000 40K T3M MVOLT	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	1	DSX1_LED_40C_1000_40K_T3M_MVOLT.ies	13388	0.9	138.16
	S190	1	Lithonia Lighting	DSX1 LED 40C 1000 40K T3M MVOLT	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA	LED	1	DSX1_LED_40C_1000_40K_T3M_MVOLT.ies	13388	0.9	276.32
	S2	8	Lithonia Lighting	LDN6 40/10 LO6AR	1000LM 80CRI 4000k 6" LED COMMERCIAL DOWNLIGHT	LED	1	LDN6_40_10_LO6AR.ies	1127	0.9	17.97
	S5	1	Lithonia Lighting	WST LED 2 10A700/40K SR2 MVOLT ELCW	WST LED WITH 2 MODULES, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 2 LENS, Operating in emergency mode	LED	1	WST_LED_2_10A700_40K_SR2_MVOLT_ELCW.ies	1970	0.9	49.3
	S3	19	Luminis Canada Inc.	SY600-L1W12r1-R45	(1 Bridgelux BXRC-40E4000-F Round LED Array) White 12W SSL c/w Thomas Reasearch Driver LED40W-036-C1050-M-D @ 120.00V		1	SY600-L1W12r1-R45.ies	1143	0.9	12.2
	S4	40	ALIGHT		D54LH40US	LED 0.185W Nichia Warm White LED (100mA)	4	D34LH40US.ies	671	0.5	38



PROJECT INFORMATION

PROJECT NARRATIVE

PROPOSED SITE:
THIS LOCATION IS ZONED APPROPRIATELY FOR A RESTAURANT AS THE PLANNED AREA DEVELOPMENT INITIALLY CONSIDERED THE LOT FOR A RESTAURANT.

CULVER'S WOULD BE ACCESSIBLE FROM THE SHARED PRIVATE DRIVE OFF OF CRISMON ROAD AND SHARED ACCESS DRIVES FROM THE ADJACENT PROPERTIES. THE PEDESTRIAN ACCESS FROM THE MAIN ENTRY TO THE RESTAURANT WILL BE HANDICAP ACCESSIBLE. ACCESSIBLE PARKING SPACES ARE ALSO BEING DESIGNED ADJACENT TO THE MAIN ENTRY.

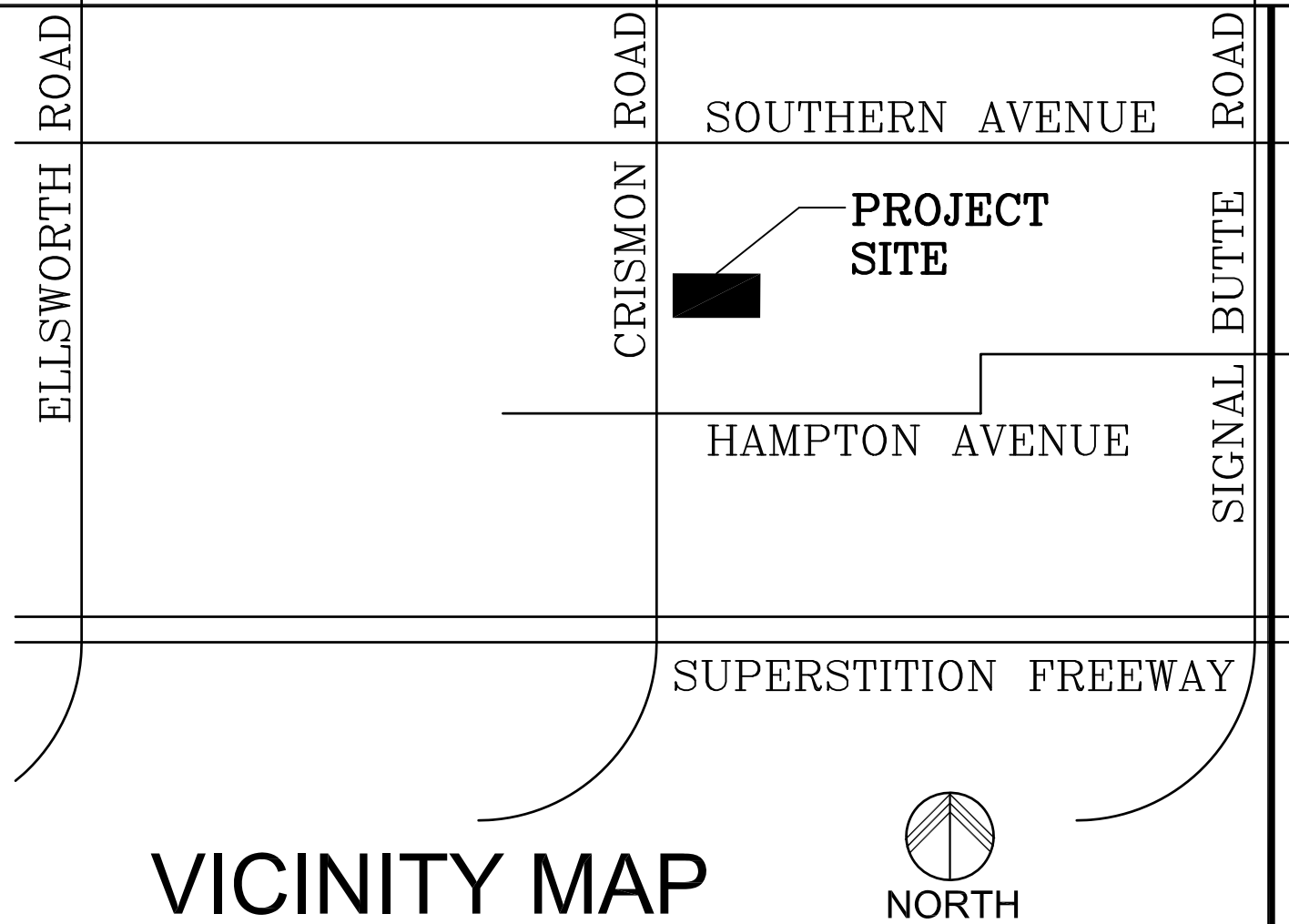
THE LANDSCAPING DESIGN USES LOW-WATER, DESERT PLANTS PER THE CC AND R₂ ADOPTED FOR THE PROPERTY. THE PARKING SPACES WILL BE SCREENED FROM CRISMON ROAD BY A PARKING SCREEN WALL. THE PROPOSED REFUSE ENCLOSURE FOR THE PROPERTY WILL BE FULLY SCREENED PER THE CITY OF MESA STANDARD REQUIREMENTS AND IS ADJACENT TO THE BACK OF THE BUILDING. ALL OF THE CPJ SCREEN WALLS WILL MATCH THE COLOR, TEXTURE, STYLE AND DESIGN PATTERNS OF THE BUILDING ITSELF.

PROPOSED BUILDING:
THE DESIGN OF CULVER'S FEATURES STEPPING BUILDING VOLUMES EXPRESSIVE OF THE ARCHITECTURAL STYLES IN THE NEIGHBORHOOD AND EXPRESSING PART OF THE HIERARCHY OF THE BUILDING ARCHITECTURE. THE BUILDING MATERIALS ARE HIGH QUALITY, DURABLE MATERIALS CONSISTENT WITH THE ARCHITECTURE OF THE NEIGHBORHOOD. THE HIERARCHY OF THE DESIGN CREATES A HUMAN SCALE WITH IDENTIFYING FEATURES FOR ENTRY AND DRIVE THRU. ALL ROOF DRAINAGE WILL BE INTERNAL TO THE BUILDING AND NOT VISIBLE FROM THE EXTERIOR. ALL MECHANICAL UNITS WILL BE FULLY SCREENED BEHIND THE PARAPET WALLS OF THE BUILDING.

OFFSITE:
STREET LIGHTING ALONG SOUTH CRISMON ROAD IS BEING BEING INSTALLED BY THE CONCURRENT DEVELOPMENT ON THE WEST SIDE OF CRISMON ROAD AS A PART OF THE WEST SIDE OF STREET IMPROVEMENTS.

SITE PLAN KEYNOTES

1. NEW GROUND-UP BUILDING - SEE FLOOR PLAN.
2. NEW PRIVATE DRIVEWAY ENTRANCE - PER CITY OF MESA STANDARDS.
3. SIGHT DISTANCE TRIANGLE PER CITY OF MESA. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 24 INCHES. NO TREES SHALL BE ALLOWED WITHIN THE SAFETY TRIANGLE. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATIONS.
4. ADA VAN ACCESSIBLE PARKING SPACES WITH SIGN AND PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY - SEE DETAILS 6 & 7 / SP22
5. PROPOSED LOCATION OF FUTURE MONUMENT SIGN TO BE PERMITTED AND CONSTRUCTED SEPARATELY.
6. REFUSE ENCLOSURE PER THE CITY OF MESA STANDARDS - SEE DETAILS ON SP20
7. NEW PAVED PARKING LOT AND DRIVEWAY WITH CURB AND GUTTER
8. NEW CONCRETE SIDEWALK (MINIMUM 5'-0" WIDE) - RAMPS AND STAIRS AS INDICATED - SEE DETAIL 5 / SP21
9. NEW ADA ACCESSIBLE RAMP MAXIMUM SLOPE 1:12 AND MAXIMUM RISE OF 6" WITH TRUNCATED DOMES - SEE DETAIL 1 / SP20
10. PUBLIC UTILITY EASEMENT AND/OR OTHER EASEMENTS TO REMAIN OR BE CREATED AS REQUIRED (EXACT DESCRIPTION TO BE DETERMINED - SEE CIVIL DRAWINGS).
11. MINIMUM 3'-0" AFG. PARKING SCREENING AND RETAINING WALL WALLS TO MATCH BUILDING MATERIALS - SEE DETAIL 3 / SP20
12. DASHED LINE INDICATES ADA ACCESS TO PUBLIC RIGHT OF WAY
13. NEW FDC PER CITY OF MESA STANDARDS - PER DEFERRED SUBMITTAL FIRE PROTECTION PLANS
14. SEE PAINTED TO MATCH BUILDING - SEE ELECTRICAL DRAWINGS AND COORDINATE WITH LOCAL UTILITY COMPANY AND PROVIDE CONCRETE PAD AS REQUIRED BY THE LOCAL UTILITY COMPANY
15. KNOX BOX PER CITY OF MESA FIRE DEPARTMENT STANDARDS - MUST BE AN APPROVED MODEL USED BY THE MESA FIRE DEPARTMENT
16. BICYCLE PARKING FOR (6) BIKES PER CITY OF MESA STANDARDS - SEE DETAIL 4 / SP20
17. FIRE RISER ROOM - SEE FLOOR PLANS, CIVIL PLANS, AND DEFERRED SUBMITTAL FIRE PROTECTION PLANS
18. EXTERIOR WALL MOUNTED LIGHT - SEE EXTERIOR ELEVATIONS AND SITE PLAN PHOTOMETRICS (SP12)
19. 4" PARKING LOT STRIPING - SEE DETAIL 2 / SP20
20. FIRE HYDRANT PER MAG STANDARD DETAILS
21. 2'-0" WIDE STRIP OF ADA COMPLIANT DETECTABLE WARNING TRUNCATED DOMED PAVERS
22. LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
23. MAXIMUM VEHICLE HEIGHT WARNING BAR - TO BE PERMITTED AND CONSTRUCTED SEPARATELY
24. DRIVE THRU MENU BOARD AND ORDERING STATION - TO BE PERMITTED AND CONSTRUCTED SEPARATELY
25. FIRE TRUCK TURNING RADIUS PER CITY OF MESA FIRE DEPARTMENT STANDARDS 35' INTERIOR AND 55' EXTERIOR
26. PARKING LOT LIGHT - SEE SP12 FOR PHOTOMETRIC STUDY AND DETAIL 11/SP23
27. DECORATIVE HARDSCAPE OF STAMPED CONCRETE AT BUILDING FRONTAGE - PATTERN SHALL BE AN ASHLER STONE WITH A RANDOM INTERLOCKING PATTERN.
28. STAMPED CONCRETE PEDESTRIAN WALK ACROSS PARKING LOT AND DRIVE AISLE - PATTERN SHALL BE AN ASHLER STONE WITH A RANDOM INTERLOCKING PATTERN.
29. DASHED LINE INDICATES SHADE TRELLIS ABOVE - SEE EXTERIOR ELEVATIONS AND FLOOR PLANS
30. EXISTING STREET LIGHT TO REMAIN
31. STREET LIGHT CONCURRENTLY BEING INSTALLED BY DEVELOPMENT ON WEST SIDE OF CRISMON ROAD AS A PART OF THE WEST HALF STREET IMPROVEMENTS.
32. NEW IN-GROUND GREASE INTERCEPTOR - SIZE PER THE PLUMBING DRAWINGS IN ACCORDANCE WITH THE CITY OF MESA CODE TITLE 8, SECTION 8-4-22
33. FIRE ACCESS LANE CURB AT DRIVE AREA TO BE PAINTED RED AND MARKED PER CITY OF MESA FIRE PREVENTION DETAIL 5033-1
34. LANDSCAPE PLANTER BOX - SEE DETAIL 14/SP23, EXTERIOR ELEVATIONS (A2 SHEETS), LANDSCAPE DRAWINGS, CIVIL DRAWINGS FOR DRAINAGE AND STRUCTURAL DRAWINGS.



VICINITY MAP

SCALE: N.T.S.

SITE PLAN GENERAL NOTES

1. ALL ELECTRICAL UTILITY LINES SHALL BE RUN UNDERGROUND.
2. SOLID WASTE ENCLOSURE SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF MESA DETAILS M-621 THROUGH M-627.

CODE ANALYSIS

- CONSTRUCTION TYPE: VB WITH FULL SPRINKLER PROTECTION
1. EXTERIOR BEARING WALLS ARE NON-COMBUSTABLE (CMU) AND NON-RATED
 2. PRIMARY STRUCTURE FRAME IS NON-RATED

SPACE	FLOOR AREA	USE	OCCUPANT LOAD
KITCHEN:	1236 SF.	A-2	PER 200 = 6.18
SEATING:	1340 SF.	A-2	PER SEATING = 121
STORAGE:	564 SF.	A-2	PER 300 = 1.88
OFFICE:	148 SF.	B (ACCESSORY)	PER 100 = 1.48
LOBBY:	626 SF.	A-2	PER 1 = 63.43
CANOPY PATIO:	742 SF.	A-2	PER SEATING = 49.5
TOTAL (INTERIOR):	4268 SF.	A-2	226 PEOPLE

- ACCESSORY OCCUPANCIES
1. B IS LESS THAN 10% OF A-2 AND B IS ACCESSORY TO THE USE

BUILDING AREA LIMITS PER TABLE 503
GROUP A-2: 6,000 SF.
PROVIDED AREA: 4268 SF. IS LESS THAN 6,000 SF. = OK

BUILDING HEIGHT ALLOWED: 30'-0"
BUILDING HEIGHT PROVIDED: 21'-10" (ONE STORY)

APN: TO BE DETERMINED
PROJECT ZONING: PER (PLANNED EMPLOYMENT PARK)
NET LOT AREA: 52,219 SF. (120 ACRES)
GROSS LOT AREA: 64,109 SF. (1.41 ACRES)
LOT COVERAGE F.A.R.: 4268 / 52,219 = 0.0816 OR 8.16%
EGRESS:

OCCUPANT LOAD: 226 PEOPLE
NUMBER OF EXITS: 3 EXITS
REQUIRED: A-2 USE AND 198 OCCUPANTS + 2 EXITS
PROVIDED: 3

PLUMBING FIXTURE CALCULATIONS:
OCCUPANT COUNTS:
USE MALE FEMALE TOTAL
B 4 S-1 138 138 276
REQUIRED MALE WATER CLOSETS
B = (138 / 75) = 2
PROVIDED MALE WATER CLOSETS = 1 + 1 URINALS
REQUIRED FEMALE WATER CLOSETS
B = (138 / 75) = 2
PROVIDED FEMALE WATER CLOSETS = 2
REQUIRED MALE LAVATORIES
B = (138 / 200) = 1
PROVIDED MALE LAVATORIES = 2
REQUIRED FEMALE LAVATORIES
B = (138 / 200) = 2
PROVIDED FEMALE LAVATORIES = 2
REQUIRED DRINKING FOUNTAINS
WATER IS PROVIDED FREE AS PART OF BUSINESS OPERATIONS

PARKING REQUIRED:
ONE PER 75 SF. 4268 / 75 = 57 SPACES

PARKING PROVIDED:
TOTAL: 58 SPACES

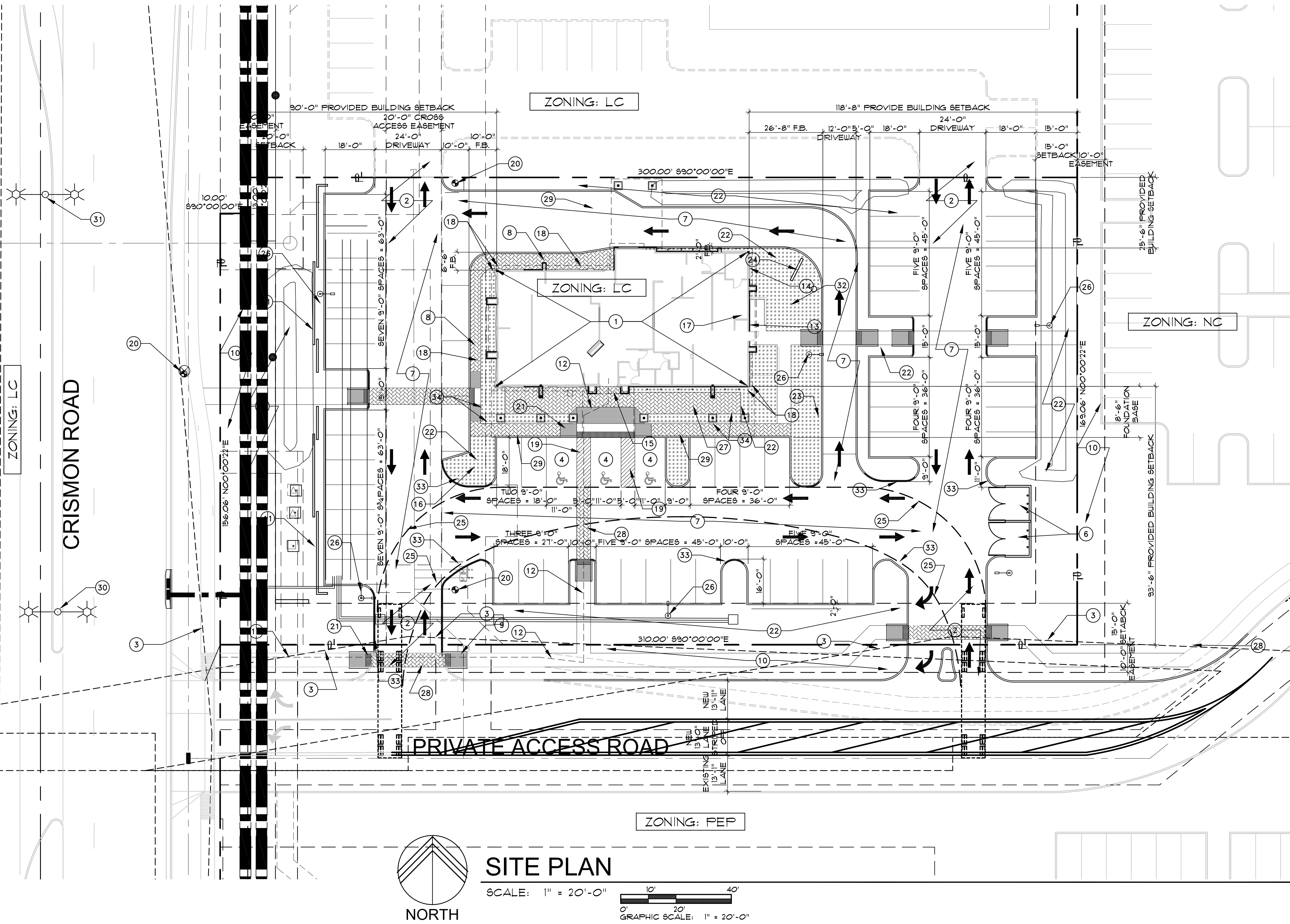
H.C. PARKING:
REQUIRED: 3 SPACES
PROVIDED: 3 SPACES (ALL ARE VAN ACCESSIBLE)

DRIVE THRU STACKING SPACES:
REQUIRED: 8 SPACES
PROVIDED: 8 SPACES

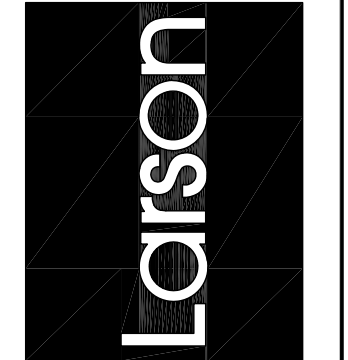
FOUNDATION BASE ANALYSIS

BASE LOCATION	DEPTH	TOTAL AREA	LANDSCAPE AREA
SOUTH (ENTRY)	18'-6"	2,902 SF.	1,348 SF. = 46.45%
WEST (CRISMON)	10'-0"	493 SF.	222 SF. = 45.03%
NORTH (DRIVE THRU)	6'-6" / 2'-0"	365 SF.	61 SF. = 16.35%
EAST (DRIVE THRU)	26'-8"	1,293 SF.	966 SF. = 74.71%
TOTAL		5,053 SF.	2,603 SF. = 51.51%

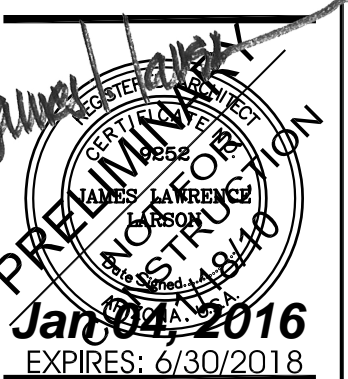
FOUNDATION BASE LANDSCAPE AREA
STAMPED CONCRETE PATTERN SHALL BE AN ASHLER STONE WITH A RANDOM INTERLOCKING PATTERN.



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CULVER'S
LOCATION: SOUTH CRISMON
MESA, ARIZONA



Drawing Name:

SITE PLAN
Revisions

Date: 03/30/2015

Project Number:

Drawing No:

SP1.1